




PART 3

**RESIDENTIAL ZONING DISTRICTS**

**§ 27-301. Designation of Residential Zoning Districts and Purpose Statements. [Ord. No. 497, 1/8/2013]**

See Table 3-1 in this section for the designations and purpose statements of the respective residential zoning districts which are shown on the Borough Zoning Map.<sup>54</sup>

Table 3-1 Residential Zoning Districts		
Residential Zoning District Name	Residential Zoning District Purpose Statement	Representative Image
Restricted Residential-1 Zoning District (RR-1)	To encourage the continued use of land for low-density residential purposes, those uses which are compatible with low-density residential uses, and to preserve open space	
Restricted Residential-2 Zoning District (RR-2)	To encourage the continued use of land for low-density residential purposes and those uses which are compatible with low-density residential uses	
Multifamily Residential Zoning District (MFR)	To encourage the continued use of land for a mixture of compatible residential dwelling types at a moderate residential density and those uses which are compatible with the mixture of residential dwelling types at a moderate residential density	

**§ 27-302. Permitted Uses. [Ord. No. 497, 1/8/2013; as amended by Ord. No. 527, 10/26/2021]**

See Table 3-2 in this section for the types of uses permitted in the respective residential zoning districts as set forth by this chapter. Uses are divided into those permitted by right (P) (zoning decision by Zoning Officer); permitted by special exception (SE) (zoning decision by Zoning Hearing Board); and permitted by conditional use(CU) (zoning decision by Borough Council). Many of the uses permitted by the above three categories must comply with certain criteria which are found in Part 11 of this chapter. The specific section numbers of Part 11 where the criteria are located are noted in the table. Uses not listed in the table below or

54. Editor's Note: The Zoning Map is included as an attachment to this chapter.

identified by "N" shall specifically not be permitted in the applicable residential zoning district:

Table 3-2 Permitted Uses - Residential Zoning Districts				
Types of Uses	Restricted Residential-1 Zoning District (RR-1)	Restricted Residential-2 Zoning District (RR-2)	Multifamily Residential Zoning District (MFR)	Section Reference for Specific Use Regulations
<b>A. Residential Uses</b>				
Group home	P	P	P	N/A
Mobile/manufactured home park	N	N	P	§ 27-1102
Multifamily dwelling	N	N	P	§ 27-1102
Single-family attached dwelling	N	N	P	§ 27-1102
Single-family detached dwelling	P	P	P	N/A
Single-family semidetached dwelling	N	N	P	N/A
Two-family detached dwelling	N	N	P	§ 27-1102
<b>B. Nonresidential Uses</b>				
<b>B.1 Commercial Uses</b>				
Bed-and-breakfast	N	SE	N	§ 27-1103
Boardinghouse	N	N	SE	§ 27-1103
<b>B.2 Institutional/Civic Uses</b>				
Cemetery	N	P	N	§ 27-1105
Continuing care retirement facility	N	N	CU	§ 27-1105
Group care facility	N	N	CU	§ 27-1105
Long-term care facility or personal care facility	N	N	CU	§ 27-1105
Municipal-owned use	P	P	P	N/A
Park, playground, and other noncommercial outdoor recreational use	P	P	P	§ 27-1105
Place of worship	SE	SE	SE	N/A
Post office	N	N	P	N/A
School, public or private	SE	SE	SE	N/A
<b>B.3 Forestry/Agriculture Uses</b>				
Agricultural operation	P	P	P	§ 27-1106
Community garden	N	P	N	§ 27-1106
Forestry (timber harvesting)	P	P	P	§ 27-1106
<b>B.5 Miscellaneous Uses</b>				
Small WCF	P	P	P	§ 27-1107
<b>C. Specific Accessory Uses</b>				
Accessory apartment	N	N	SE	§ 27-1108
Automated banking or postal facility	N	N	P	§ 27-1108
Community garden	N	P	P	§ 27-1108
Day care, accessory	P	P	P	N/A

Table 3-2 Permitted Uses - Residential Zoning Districts				
Types of Uses	Restricted Residential-1 Zoning District (RR-1)	Restricted Residential-2 Zoning District (RR-2)	Multifamily Residential Zoning District (MFR)	Section Reference for Specific Use Regulations
Day care, family	P	P	P	§ 27-1108
Home occupation	N	SE	SE	§ 27-1108
No-Impact home occupation	P	P	P	§ 27-1108
<b>D. Specific Temporary Uses</b>				
Accessory dwelling unit for care of relative	CU	CU	CU	§ 27-1109
<b>E. General Accessory Uses and Structures</b>				
Accessory structures and uses customarily incidental and subordinate to the principal uses permitted in the applicable zoning district, other than specified elsewhere in this chapter including but not limited to Part 7 of this chapter	P	P	P	N/A

- P Permitted by right (zoning decision by Zoning Officer)
- SE Permitted by special exception use (zoning decision by Zoning Hearing Board)
- CU Permitted by conditional use (zoning decision by Borough Council)
- N Not permitted

**§ 27-303. Area and Design Requirements. [Ord. No. 497, 1/8/2013]**

See Tables 3-3 through 3-5 in this section for the area and design requirements for all development activities and uses within the respective residential zoning districts. Additionally, to the maximum extent feasible, all development activities and uses shall respect, maintain, and be compatible with the predominant development pattern, context, and character features of the adjacent and nearby buildings/structures and development, including height, scale, setback, orientation, lot access, and off-street parking. Unless specifically listed in this section and Part 6 of this chapter relating to FST Overlay Zoning District (FSTO), applicants for new development and uses may, and are strongly encouraged to, utilize the other building and development compatibility design guidelines and standards set forth in Part 6 of this chapter relating to FST Overlay Zoning District (FSTO):

<b>Table 3-3                      Area and Design Requirements                      Restricted Residential-1                      Zoning District (RR-1)</b>			
<b>Area/Design Features</b>	<b>Permitted Uses</b>		
	<b>Single-Family Detached Dwelling</b>	<b>Other Uses, Unless Specifically Listed in Part 11</b>	<b>Accessory Use or Structure, Other Than Specified Here and Elsewhere in this Chapter Including Part 7, Part 9, and Part 11 of this Chapter</b>
Net lot area - minimum	20,000 square feet per dwelling unit	20,000 square feet	Included as part of total minimum lot area for principal use
Lot width at lot frontage - minimum, interior lot	85 feet	85 feet	Included as part of total minimum lot width for principal use
Lot width at lot frontage - minimum, corner lot	100 feet	100 feet	Included as part of total minimum lot width for principal use
Front setback - minimum	35 feet	35 feet	Not permitted to be located within the front yard
Side setback - minimum	15 feet each side	15 feet each side	6 feet
Rear setback - minimum	35 feet	35 feet	6 feet
Impervious lot coverage - maximum	30%	30%	Included as part of total maximum impervious coverage for principal use
Vegetative coverage - minimum	30%	30%	Included as part of total minimum vegetative coverage for the principal use
Building height/structure height - maximum	25 feet*	25 feet*	20 feet or not higher than the principal structure, whichever is less

\* The maximum height may be increased one additional foot for each additional foot that the structure is set back beyond each minimum required setback, to a maximum of 35 feet.

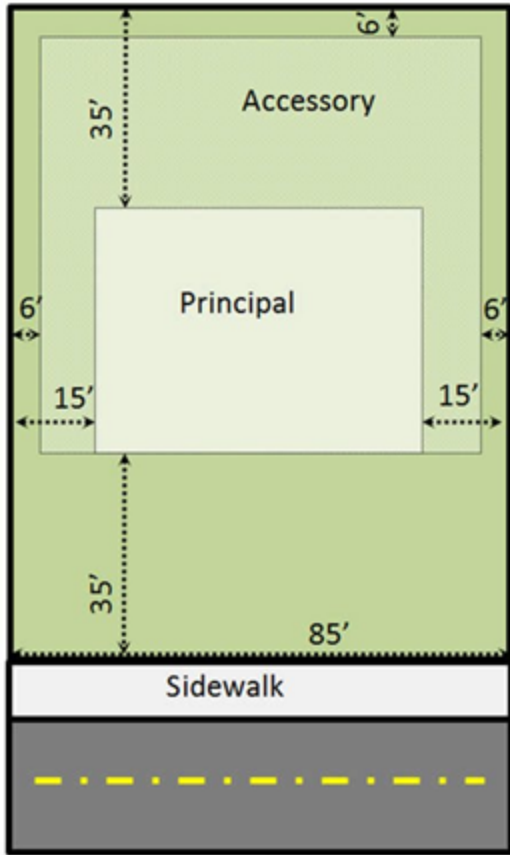


Figure 3.1  
Typical RR-1 Zoning District Area / Design Features Example  
(Abutting Lots Not Developed)  
(Not Drawn to Scale)

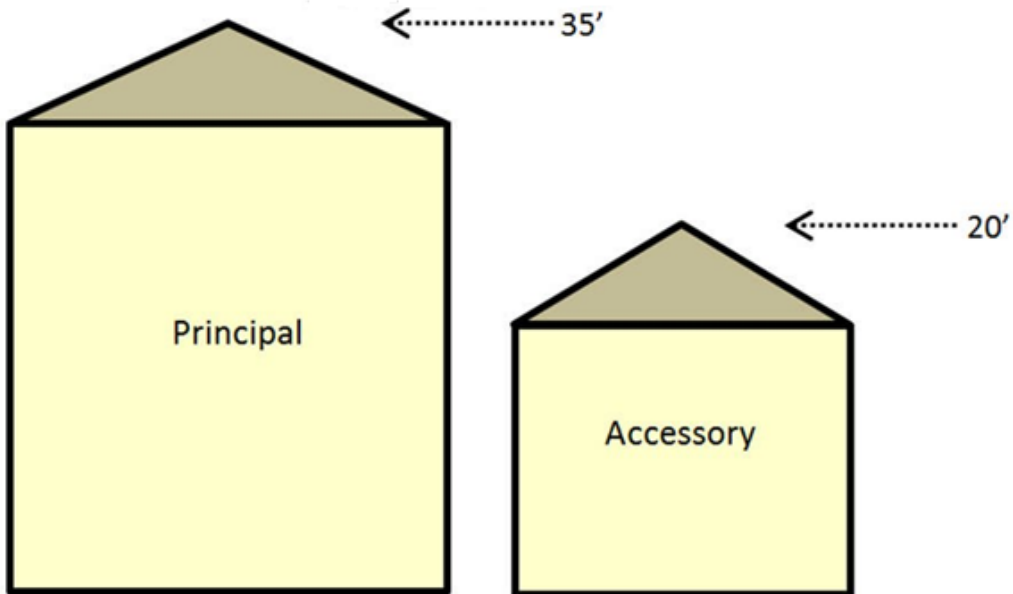


Figure 3.2 Typical RR-1 Zoning District Building Height Example (Abutting Lots Not Developed) (Not Drawn to Scale)

<b>Table 3-4 Area and Design Requirements Restricted Residential-2 Zoning District (RR-2)</b>			
<b>Area/Design Features</b>	<b>Permitted Uses</b>		
	<b>Single-Family Detached Dwelling</b>	<b>Other Uses, Unless Specifically Listed in Part 11</b>	<b>Accessory Use or Structure, Other Than Specified Here and Elsewhere in this Chapter Including Part 7, Part 9, and Part 11 of this Chapter</b>
Net lot area - minimum	10,000 square feet per dwelling unit	10,000 square feet	Included as part of total minimum lot area for principal use
Lot width at lot frontage - minimum, interior lot	80 feet	80 feet	Included as part of total minimum lot width for principal use
Lot width at lot frontage - minimum, corner lot	95 feet	95 feet	Included as part of total minimum lot width for principal use
Front setback - minimum	30 feet	30 feet	Not permitted to be located within the front yard
Side setback - minimum	25 feet total both sides, with a minimum of 10 feet for one side	25 feet total both sides, with a minimum of 10 feet for one side	6 feet
Rear setback - minimum	30 feet*	30 feet*	6 feet
Impervious lot coverage - maximum	30%	30%	Included as part of total maximum impervious coverage for principal use
Vegetative coverage - minimum	30%	30%	Included as part of total minimum vegetative coverage for the principal use
Building height/structure height - maximum	25 feet**	25 feet**	20 feet or not higher than the principal structure, whichever is less

\* Lots of record as of May 10, 1950, with a depth of less than 125 feet shall have a minimum rear setback of 20 feet.

\*\* The maximum height may be increased one additional foot for each additional foot that the structure is set back beyond each minimum required setback, to a maximum of 35 feet.

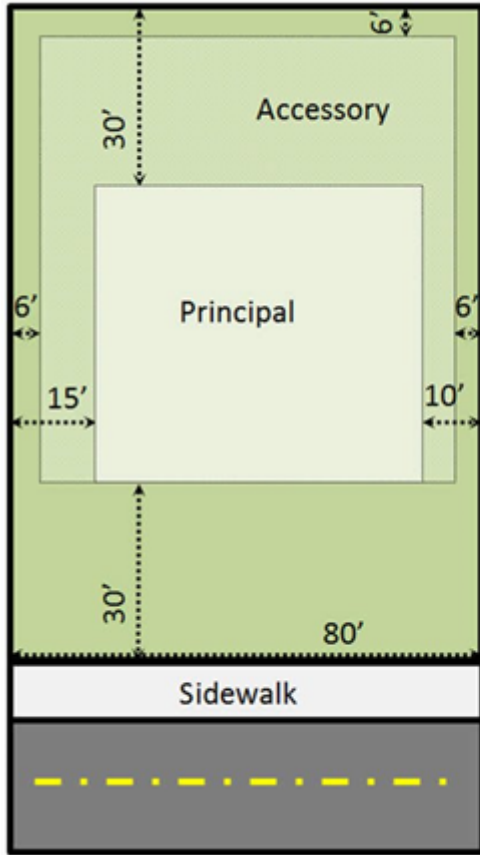


Figure 3.3  
Typical RR-2 Zoning District Area / Design Features Example  
(Abutting Lots Not Developed)  
(Not Drawn to Scale)

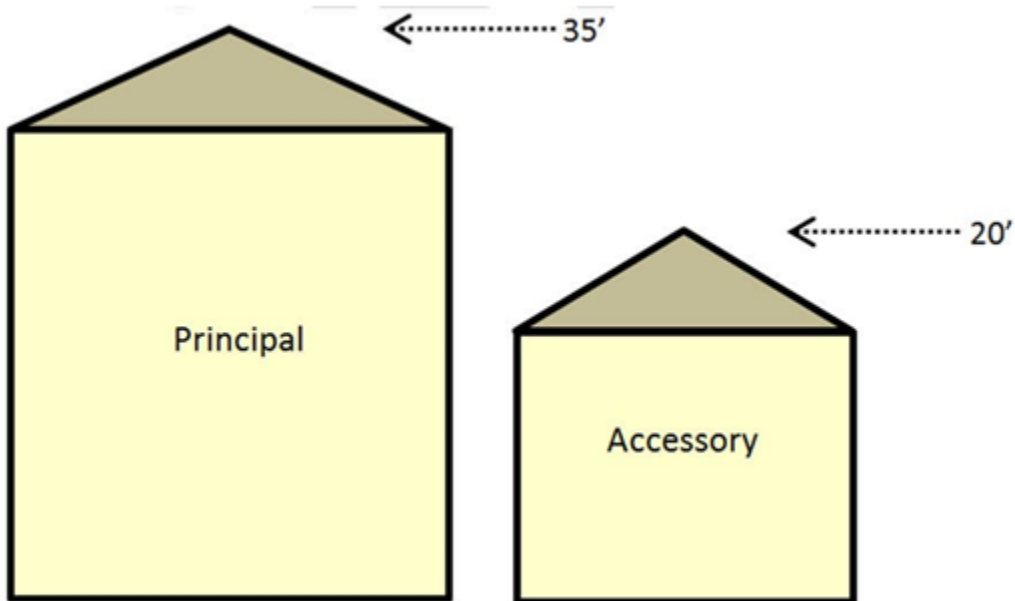


Figure 3.4 Typical RR-2 Zoning District Building Height Example (Abutting Lots Not Developed) (Not Drawn to Scale)

<b>Table 3-5 Area and Design Requirements Multifamily Residential Zoning District (MFR)</b>					
<b>Area/Design Features</b>	<b>Permitted Uses</b>				
	<b>Single-Family Detached Dwelling</b>	<b>Single-Family Semi-detached Dwelling</b>	<b>Two-Family Detached Dwelling</b>	<b>Other Uses, Unless Specific- ally Listed in Part 11</b>	<b>Accessory Use or Structure, Other Than Specified Here and Elsewhere in this Chapter Including Part 7, Part 9, and Part 11 of this Chapter</b>
Net lot area - minimum	6,000 square feet per dwelling unit	3,000 square feet per dwelling unit	3,000 square feet per dwelling unit	6,000 square feet	Included as part of total minimum lot area for principal use
Lot width at lot frontage - minimum, interior lot	60 feet	30 feet	60 feet	60 feet	Included as part of total minimum lot width for principal use
Lot width at lot frontage - minimum, corner lot	75 feet	45 feet	75 feet	75 feet	Included as part of total minimum lot width for principal use
Front setback - minimum	25 feet	25 feet	25 feet	25 feet	Not permitted to be located within the front yard
Side setback - minimum	20 feet total both sides, with a minimum of 7 feet for one side	7 feet, except 0 feet at the shared lot line of lawfully attached dwellings constructed with a shared common party wall and the written consent of the owner of the abutting lot and building	20 feet total both sides, with a minimum of 7 feet for one side	20 feet total both sides, with a minimum of 7 feet for one side	4 feet
Rear setback - minimum	30 feet	30 feet	30 feet	30 feet	4 feet
Impervious lot coverage - maximum	35%	40%	40%	45%	Included as part of total maximum impervious coverage for principal use
Vegetative coverage - minimum	25%	20%	20%	15%	Included as part of total minimum vegetative coverage for the principal use
Building height/structure height - maximum	35 feet	35 feet	35 feet	35 feet*	20 feet or not higher than the principal structure, whichever is less

\* The maximum height may be increased one additional foot for each additional foot that the structure is set back beyond each minimum required setback, to a maximum of 45 feet.



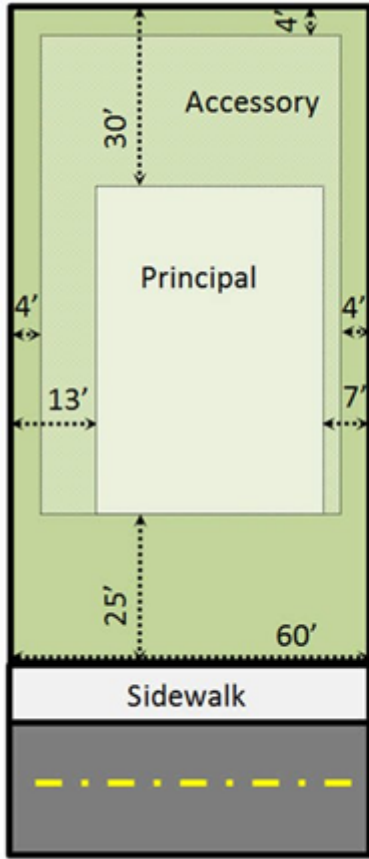


Figure 3.5  
Typical MFR Zoning District Area / Design Features Example  
(Abutting Lots Not Developed)  
(Not Drawn to Scale)

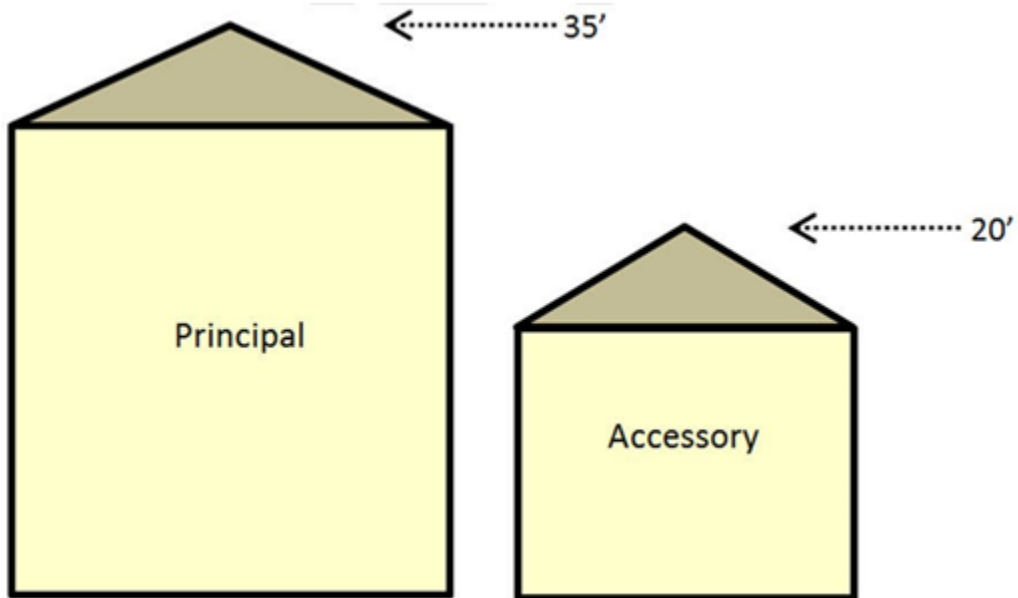


Figure 3.6 Typical MFR Zoning District Building Height Example (Abutting Lots Not Developed) (Not Drawn to Scale)

**§ 27-304. Compliance with General Standards. [Ord. No. 497, 1/8/2013]**

Additionally, all development activities and uses within the respective residential zoning districts shall comply with all applicable general standards of this chapter, including but not limited to:

1. General regulations of Part 7 of this chapter;
2. Sign regulations of Part 8 of this chapter; and
3. Lot access, parking, and loading regulations of Part 9 of this chapter.

**§ 27-305. Overlay Zoning Districts. [Ord. No. 497, 1/8/2013]**

If located within or affected by the following overlay zoning districts, see Table 3-6 in this section, then development activities or uses within the respective Residential Zoning Districts shall comply with the requirements of the applicable overlay zoning district provisions set forth in Part 6 of this chapter:

<b>Table 3-6</b>
<b>Overlay Zoning Districts</b>
(Reserved)